

# CITY OF NEWTON JOHN WARD ELEMENTARY SCHOOL MASONRY REPAIRS

## BID SET



**CLIENT**  
City of Newton  
1000 Commonwealth Avenue  
Newton, MA 02459  
T: 617-796-1000

**ARCHITECT**  
McGinley Kalsow &  
Associates, Inc.  
324 Broadway  
P.O. Box 45248  
Somerville, MA 02145  
T: 617-625-8901  
F- 617-625-8902

- GENERAL NOTES**
- A. SECURITY: PROTECT THE PUBLIC AT ALL TIMES FROM POTENTIAL CONSTRUCTION HAZARDS. PROVIDE ADEQUATE PROTECTION AGAINST ACCIDENTAL TRESPASSING. SECURE PROJECT AFTER WORK HOURS.
  - B. CONTROL NOISE. CONTAIN ALL DUST AND LEGALLY DISPOSE OF ALL MATERIAL AND CONSTRUCTION DEBRIS. CONFORM TO ALL CITY AND STATE CONSTRUCTION REQUIREMENTS
  - C. THE CONTRACTOR IS TO TAKE ALL NECESSARY AND REASONABLE STEPS TO PROTECT THOSE PORTIONS OR ELEMENTS OF THE BUILDING AND SITE WHICH ARE NOT INCLUDED IN THE WORK, AND IS TO REPAIR ANY DAMAGES AT HIS OWN EXPENSE. ALL SUCH REPAIRS MUST BE ACCEPTED BY THE ARCHITECT PRIOR TO FINAL PAYMENT.
  - D. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE CITY OF NEWTON HAS WAIVED ALL PERMIT & INSPECTION FEES. THE CITY OF NEWTON HAS WAIVED THE PERMIT FEES FOR THIS PROJECT.
  - E. REVIEW FIELD CONDITIONS THAT DIFFER FROM CONTRACT DOCUMENTS WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK. IN SOME INSTANCES, THE FULL EXTENT OF REPAIR OR RESTORATION WORK CANNOT BE DETERMINED UNTIL EXISTING COVERINGS HAVE BEEN REMOVED. THE CONTRACTOR SHALL PLAN AHEAD SO THAT SITE VISITS AND SUBSEQUENT DIRECTION CAN PROCEED IN A TIMELY FASHION.
  - F. DO NOT SCALE THE DRAWINGS. IF CRITICAL DIMENSIONS ARE MISSING FROM THE DRAWINGS, CONTACT THE ARCHITECT FOR CLARIFICATION.
  - G. SECTIONS AND DETAILS APPLY TO ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
  - H. MATERIALS REFERRED TO ON DRAWINGS AND DETAILS ARE NEW UNLESS NOTED AS EXISTING. WHERE WORK IS DESCRIBED AS "NEW" OR "REPLACEMENT" THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING MATERIAL.
  - I. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM AN ACCUMULATION OF WASTE OR DEBRIS, AND AT THE END OF EACH WORK DAY LEAVE THE AREA BROOM CLEAN.
  - J. THE CONTRACTOR SHALL BE ALLOWED TO WORK AT THE SITE FROM 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, AND FROM 8:00 AM TO 3:00 PM ON SATURDAYS. NO WORK SHALL BE ALLOWED ON SUNDAYS EXCEPT BY SPECIAL PERMISSION BY THE CITY OF NEWTON.

DRAWING LIST	
#	TITLE
A0	COVER SHEET & GENERAL INFORMATION
A1	EAST & NORTHEAST ELEVATIONS (Alternate #1)
A2	NORTH & NORTHWEST ELEVATIONS (Base Bid)
A3	WEST ELEVATION (Base Bid)
A4	SOUTH ELEVATIONS (Alternate #2)
A5	MAIN ENTRY STAIR PLAN & ELEVATION 4-5/A5 (Base Bid)
A5	BUILDING ELEVATIONS 1, 2 & 3/A5, 1956 ADDITION (Alternate #3)



1 JOHN WARD SCHOOL SITE PLAN  
N.T.S.



John Ward Elementary School  
Masonry Repairs  
10 Dolphin Road  
Newton, MA 02459  
City of Newton, Massachusetts

Date: 6/27/2012  
Scale: NONE  
Drawn By: JCH  
Reviewed By: WCK  
Project No: 1593.01

**MK & A** McGinley Kalsow & Associates, Inc.  
ARCHITECTS & PRESERVATION PLANNERS  
324 Broadway, P.O. Box 45248  
Somerville, MA 02145  
617.625.8901 - www.mcginleykalsow.com

COVER SHEET  
& GENERAL  
INFORMATION

A0



KEYNOTE LEGEND FOR SCOPE OF WORK

EX-01 EXISTING WINDOW HEAD FLASHING  
EX-02 EXISTING LOUVERED VENT  
EX-03 TOP OF EXISTING CONCRETE FOUNDATION  
EX-04 FORMER WINDOW OPENING INFILLED WITH BRICK MASONRY  
EX-05 EXISTING L.C. COPPER CORNICE FLASHING (TYP.)  
EX-06 EXISTING L.C. COPPER PARAPET FLASHING  
EX-07 EXISTING MEMBRANE-COVERED, METAL PARAPET FLASHING  
EX-08 EXISTING L.C. COPPER GUTTER & DOWNSPOUT

02-02 REMOVE ALL SEALANTS & MORTAR FROM VERTICAL & HORIZONTAL JOINTS

03-01 PROVIDE BREATHABLE MASONRY COATING OVER EXPOSED SURFACES OF CONCRETE FOUNDATION

03-03 REMOVE WOOD DEBRIS FROM SLOT AND INFILL WITH PATCHING MORTAR TO MATCH ADJOINING CONCRETE

03-04 CHIP OUT LOOSE CONCRETE & PATCH WITH NEW CONCRETE OVER H. D. GALV. LATH; MATCH EXISTING EXPOSED CONCRETE FINISH (SEE DETAIL #1)

03-05 REPOINT CRACK IN CONCRETE FOUNDATION WITH PATCHING MORTAR (SEE DETAIL #2)

03-06 REMOVE EMBEDDED STEEL BACK 2" FROM EXPOSED STEEL SURFACE

04-01 CUT & REPOINT BRICK MASONRY  
04-02 REMOVE & REPLACE EXISTING BRICK MASONRY  
04-03 REMOVE RUSTED EMBEDDED STEEL LINTEL; INFILL WITH NEW BRICK MASONRY  
04-04 REMOVE EMBEDDED STEEL BACK 4"

04-05 REPOINT CAST STONE CORNICE (ALL VERTICAL & HORIZONTAL JOINTS OVER ENTIRE LENGTH)  
04-06 REPOINT VERTICAL JOINTS OF CAST STONE STRING COURSE OR CORNICE  
04-07 REMOVE VENT & INFILL WITH NEW BRICK MASONRY TO MATCH EXISTING

04-08 REMOVE & REPLACE CRACKED/SPALLED CAST STONE ELEMENT WITH NEW CAST STONE REPLACEMENT  
04-09 REMOVE SEALANT FROM FLASHING/BRICK MASONRY JOINT & REPOINT WITH MORTAR  
04-10 CHEMICALLY CLEAN MASONRY WALL AREA OF METALLIC STAINS

04-11 REMOVE EXISTING PIPING & SUPPORT BRACKETS FROM INOPERATIVE GENERATOR; REPLACE DAMAGED BRICK MASONRY

04-12 REPOINT CRACK IN STONE MASONRY WITH PATCHING MORTAR

04-13 REMOVE PLANT GROWTH FROM BRICK MASONRY & CLEAN WITH BIO-WASH CLEANER

04-14 DISASSEMBLE EXISTING FACING BRICK & COPING STONES OF RETAINING WALL & REBUILD  
04-15 CUT & REPOINT STONE MASONRY JOINTS

04-16 REPOINT PERIMETER OF CAST STONE ELEMENT

04-17 REPOINT CRACK IN BRICK MASONRY; REPLACE CRACKED BRICK WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE

04-18 REMOVE SPALLED BRICKS AND REPLACE WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE

04-19 CHEMICALLY CLEAN CAST STONE/BRICK MASONRY

05-01 REMOVE & REPLACE RUSTED STEEL LINTEL; PROVIDE NEW L.C. COPPER FLASHING AT LINTEL

05-02 REMOVE STEEL SECURITY GRILLE FROM WINDOW FOR REINSTALLATION AFTER PAINTING & REMOVE DEBRIS

05-03 REMOVE EXISTING CAST IRON VENTILATION GRILLES, REMOVE DEBRIS, PROVIDE BRONZE BIRD SCREENS BEHIND (PAINTED BLACK) & REINSTALL

06-01 REPAIR WOOD FRAME AT MASONRY OPENING

06-02 REPLICATE MISSING WOOD CAPITAL & RELATED MOLDINGS

06-03 REPLICATE MISSING WOOD MOLDING OF DOOR FRAME

07-01 RE-SECURE METAL CORNICE FLASHING TO SUBSTRATE WITH METAL CLIPS

07-02 RE-SECURE METAL PARAPET FLASHING TO SUBSTRATE

07-03 PREPARE & PAINT EXISTING METAL SILLS; REMOVE EXISTING SEALANT AT BOTH ENDS & PROVIDE NEW SEALANT

07-04 REMOVE EXISTING RUSTED FASTENERS & REPLACE WITH COPPER OR BRONZE FASTENERS AT COPPER PARAPET FLASHING

07-05 REMOVE EXISTING & PROVIDE NEW SEALANT BETWEEN WINDOW OR DOOR FRAME AND MASONRY OPENING

07-06 PROVIDE NEW SEALANT IN GAP BETWEEN WINDOW TRIM AND MASONRY WALL BEHIND

07-07 PROVIDE NEW L.C. COPPER FLASHING BELOW & BEHIND NEW CAST STONE UNIT; AT WINDOW SILL, TURN FLASHING UP AT SIDES & SOLDER SEAMS

07-08 PROVIDE NEW L.C. COPPER THRU-WALL FLASHING BELOW REINSTALLED COPING STONES

08-01 REMOVE GLAZING FROM EXISTING STEEL WINDOW; SANDBLAST/WIREBRUSH RUSTED STEEL SASH & FRAME

09-01 PRIME & PAINT

09-02 PREPARE & PAINT WOOD FRAME (DOOR, WINDOW, VENT) IN MASONRY OPENING

09-03 PREPARE & PAINT EXISTING VENTILATION LOUVERS

09-04 REMOVE RUST FROM SECURITY GRILLES BY SANDBLASTING IN OFF-SITE FACILITY; PRIME & PAINT GRILLES (& ALL MOUNTING BRACKETS) AND REINSTALL

15-01 REPLACE EXISTING UNIT VENTILATOR GRILLE WITH NEW HORIZONTAL LOUVER UNIT & PROTECTIVE SCREEN

16-01 REMOVE SURFACE-MOUNTED ELECTRICAL LINES & ATTACHMENT DEVICES FROM MASONRY; PATCH HOLES IN BRICK WITH PATCHING MORTAR

16-02 REMOVE RUSTED, SURFACE-MOUNTED ELECTRICAL CONDUIT & ATTACHMENT DEVICES (FOR EXTERIOR LIGHTING) FROM MASONRY; REPLACE WITH NEW ELECTRICAL CONDUIT; PAINT CONDUIT BEFORE ATTACHING TO WALL

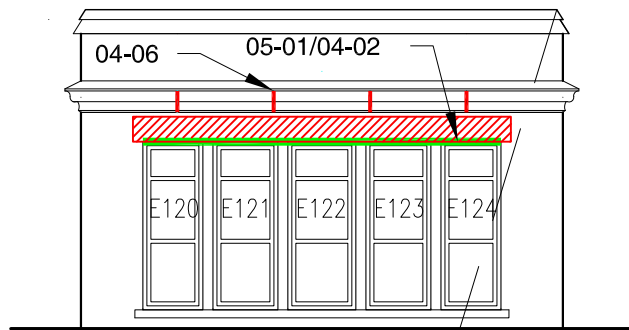
KEY PLAN  
1/64"=1'-0"

LEGEND

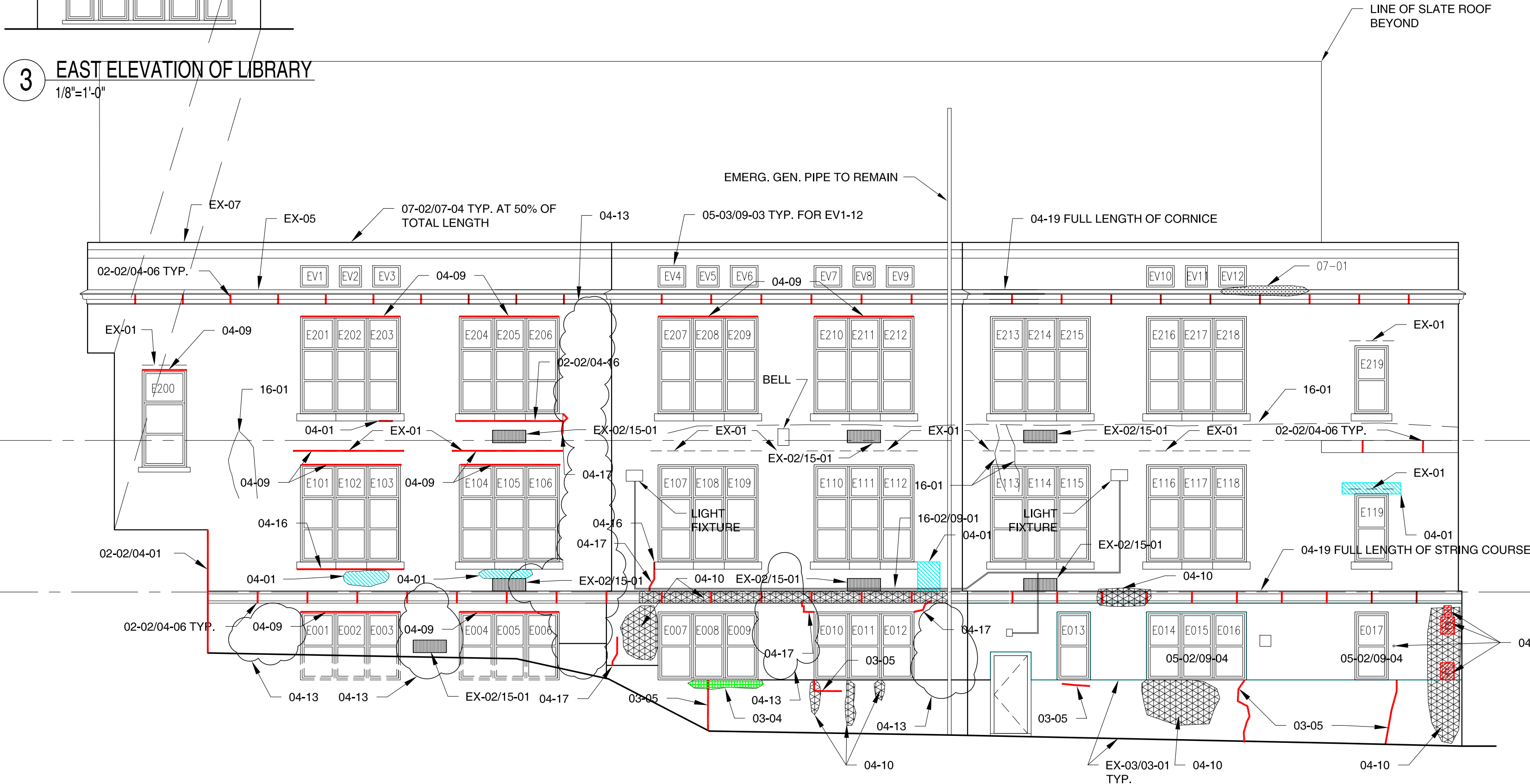
	EXISTING CRACK IN MASONRY OR CONCRETE TO BE REPAIRED
	REPLACE CRACKED BRICKS AND REBUILD ADJOINING WALL AREA
	REMOVE & REPLACE STEEL LINTEL WITH NEW HOT-DIP GALVANIZED STEEL LINTEL
	CUT & REPOINT BRICK MASONRY MORTAR JOINTS
	REPLACE DAMAGED CONCRETE WITH NEW CONCRETE TO MATCH EXISTING
	CLEAN MASONRY TO REMOVE METAL STAINS & BIOLOGICAL MATERIAL.
	REMOVE & RESET EXISTING STONE SLABS; CLEAN EXPOSED SURFACES

LINTEL SCHEDULE  
FOR REFERENCE ONLY

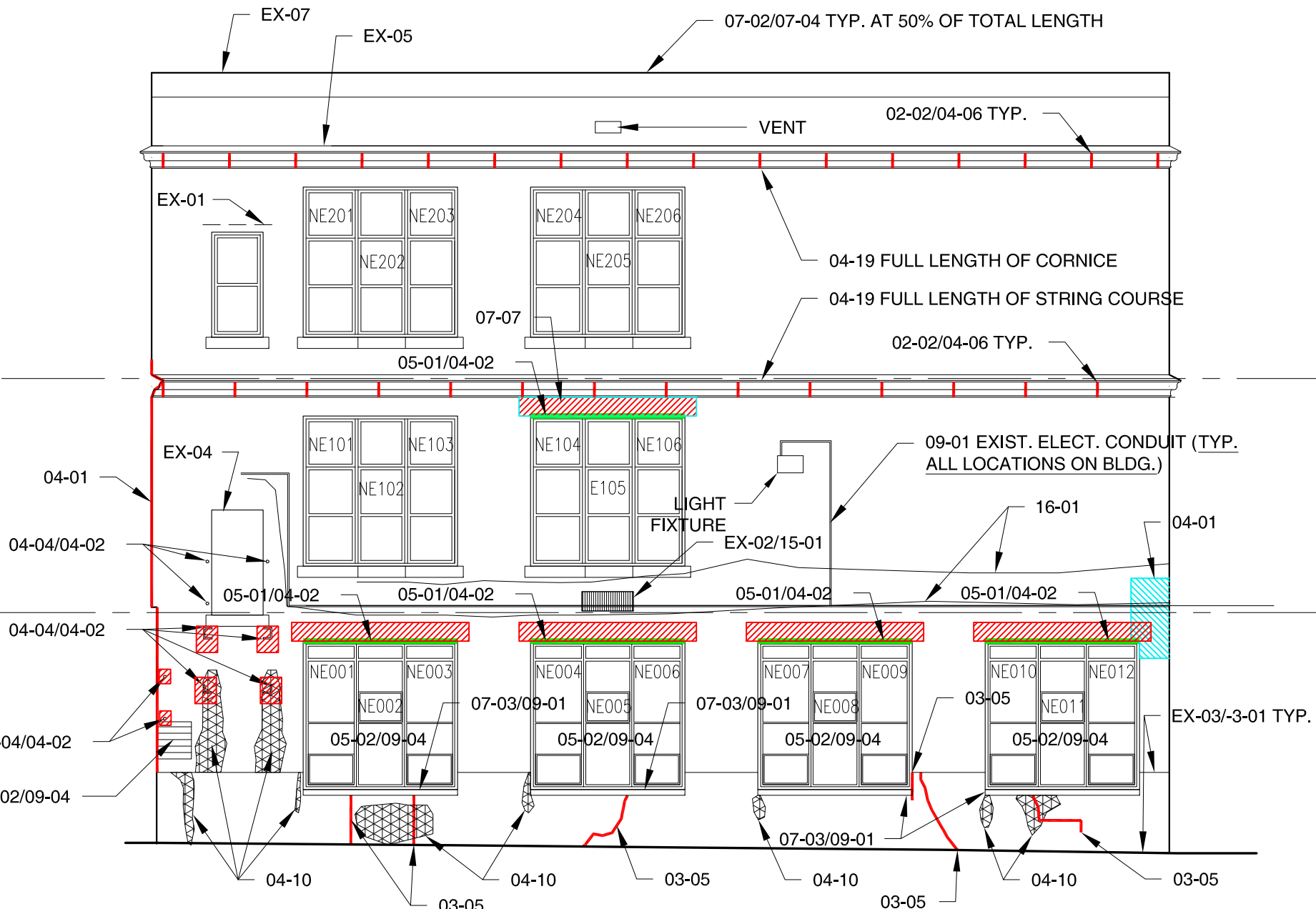
WINDOW NO.	ORIGINAL LINTEL SIZES (1927)
E 120-124	(1) 6 X 3-1/2 X 5/8 (1) 3 X 3 X 5/16 (1) 12" CHANNEL @ 20.7#
NE 001-003	(4) 4 X 3-1/2 X 1/2
NE 004-006	(4) 4 X 3-1/2 X 1/2
NE 007-009	(4) 4 X 3-1/2 X 1/2
NE 010-012	(4) 4 X 3-1/2 X 1/2
NE 104-106	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL
N 001	(4) 3 X 3 X 5/16
N 107	(3) 3 X 3 X 5/16
NW 004-006	(4) 4 X 3-1/2 X 1/2
NW 007-009	(4) 4 X 3-1/2 X 1/2
NW 101-103	(3) 5 X 3-1/2 X 3/8
N 009	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL @ 8.3#
N 108	(3) 3 X 3 X 5/16



3 EAST ELEVATION OF LIBRARY  
1/8"=1'-0"



1 EAST ELEVATION  
1/8"=1'-0"



2 NORTHEAST ELEVATION  
1/8"=1'-0"



John Ward Elementary School  
Masonry Repairs  
10 Dolphin Road  
Newton, MA 02459  
City of Newton, Massachusetts

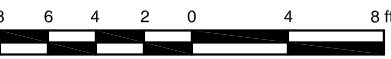
Date: 6/27/2012  
Scale: 1/8" = 1'-0"  
Drawn By: JCH  
Reviewed By: WCK  
Project No: 1593.01

MK & A McGinley Kalsow & Associates, Inc.  
ARCHITECTS & PRESERVATION PLANNERS  
324 Broadway, P.O. Box 45248  
Somerville, MA 02145  
617.625.8901 - www.mcginleykalsow.com

EAST & NORTHEAST ELEVATIONS

A1

Alternate #1: All work shown on this sheet

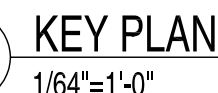




EX-01 EXISTING WINDOW HEAD FLASHING	04-01 CUT & REPOINT BRICK MASONRY
EX-02 EXISTING LOUVERED VENT	04-02 REMOVE & REPLACE EXISTING BRICK MASONRY
EX-03 TOP OF EXISTING CONCRETE FOUNDATION	04-03 REMOVE RUSTED EMBEDDED STEEL LINTEL; INFILL WITH NEW BRICK MASONRY
EX-04 FORMER WINDOW OPENING INFILLED WITH BRICK MASONRY	04-04 REMOVE EMBEDDED STEEL BACK 4"
EX-05 EXISTING L.C. COPPER CORNICE FLASHING (TYP.)	04-05 REPOINT CAST STONE CORNICE (ALL VERTICAL & HORIZONTAL JOINTS OVER ENTIRE LENGTH)
EX-06 EXISTING L.C. COPPER PARAPET FLASHING	04-06 REPOINT VERTICAL JOINTS OF CAST STONE STRING COURSE OR CORNICE
EX-07 EXISTING MEMBRANE-COVERED, METAL PARAPET FLASHING	04-07 REMOVE VENT & INFILL WITH NEW BRICK MASONRY TO MATCH EXISTING
EX-08 EXISTING L.C. COPPER GUTTER & DOWNSPOUT	04-08 REMOVE & REPLACE CRACKED/SPALLED CAST STONE ELEMENT WITH NEW CAST STONE REPLACEMENT
02-02 REMOVE ALL SEALANTS & MORTAR FROM VERTICAL & HORIZONTAL JOINTS	04-09 REMOVE SEALANT FROM FLASHING/BRICK MASONRY JOINT & REPOINT WITH MORTAR
03-01 PROVIDE BREATHABLE MASONRY COATING OVER EXPOSED SURFACES OF CONCRETE FOUNDATION	04-10 CHEMICALLY CLEAN MASONRY WALL AREA OF METALLIC STAINS
03-03 REMOVE WOOD DEBRIS FROM SLOT AND INFILL WITH PATCHING MORTAR TO MATCH ADJOINING CONCRETE	04-11 REMOVE EXISTING PIPING & SUPPORT BRACKETS FROM INOPERATIVE GENERATOR; REPLACE DAMAGED BRICK MASONRY
03-04 CHIP OUT LOOSE CONCRETE & PATCH WITH NEW CONCRETE OVER H. D. GALV. LATH; MATCH EXISTING EXPOSED CONCRETE FINISH (SEE DETAIL #1)	04-12 REPOINT CRACK IN STONE MASONRY WITH PATCHING MORTAR
03-05 REPOINT CRACK IN CONCRETE FOUNDATION WITH PATCHING MORTAR (SEE DETAIL #2)	04-13 REMOVE PLANT GROWTH FROM BRICK MASONRY & CLEAN WITH BIO-WASH CLEANER
03-06 REMOVE EMBEDDED STEEL BACK 2" FROM EXPOSED STEEL SURFACE	04-14 DISASSEMBLE EXISTING FACING BRICK & COPING STONES OF RETAINING WALL & REBUILD
	04-15 CUT & REPOINT STONE MASONRY JOINTS
	04-16 REPOINT PERIMETER OF CAST STONE ELEMENT
	04-17 REPOINT CRACK IN BRICK MASONRY; REPLACE CRACKED BRICK WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE
	04-18 REMOVE SPALLED BRICKS AND REPLACE WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE
	04-19 CHEMICALLY CLEAN CAST STONE/BRICK MASONRY

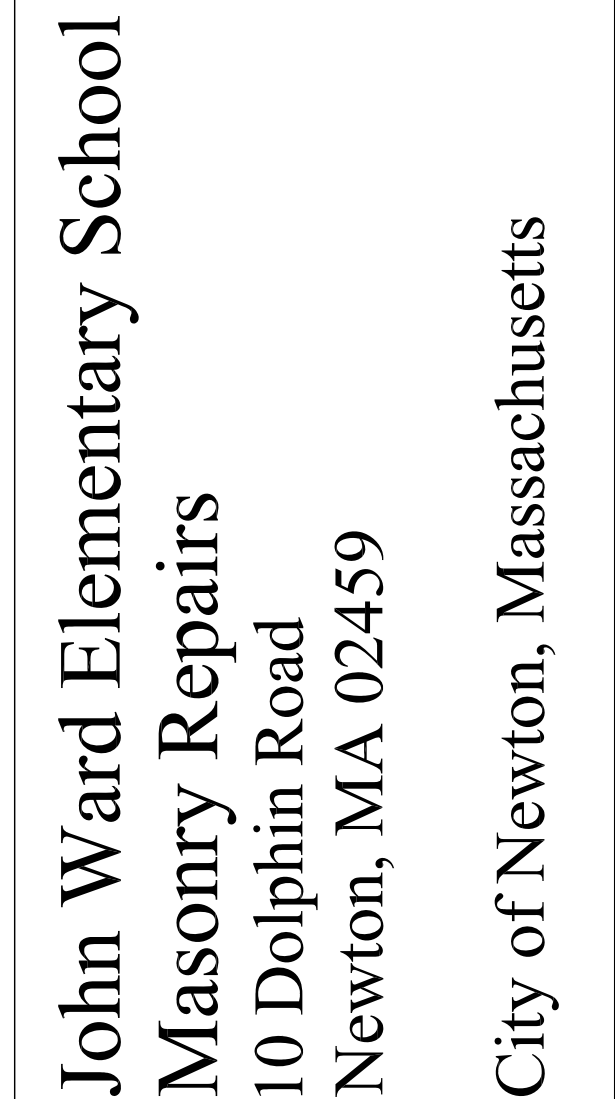
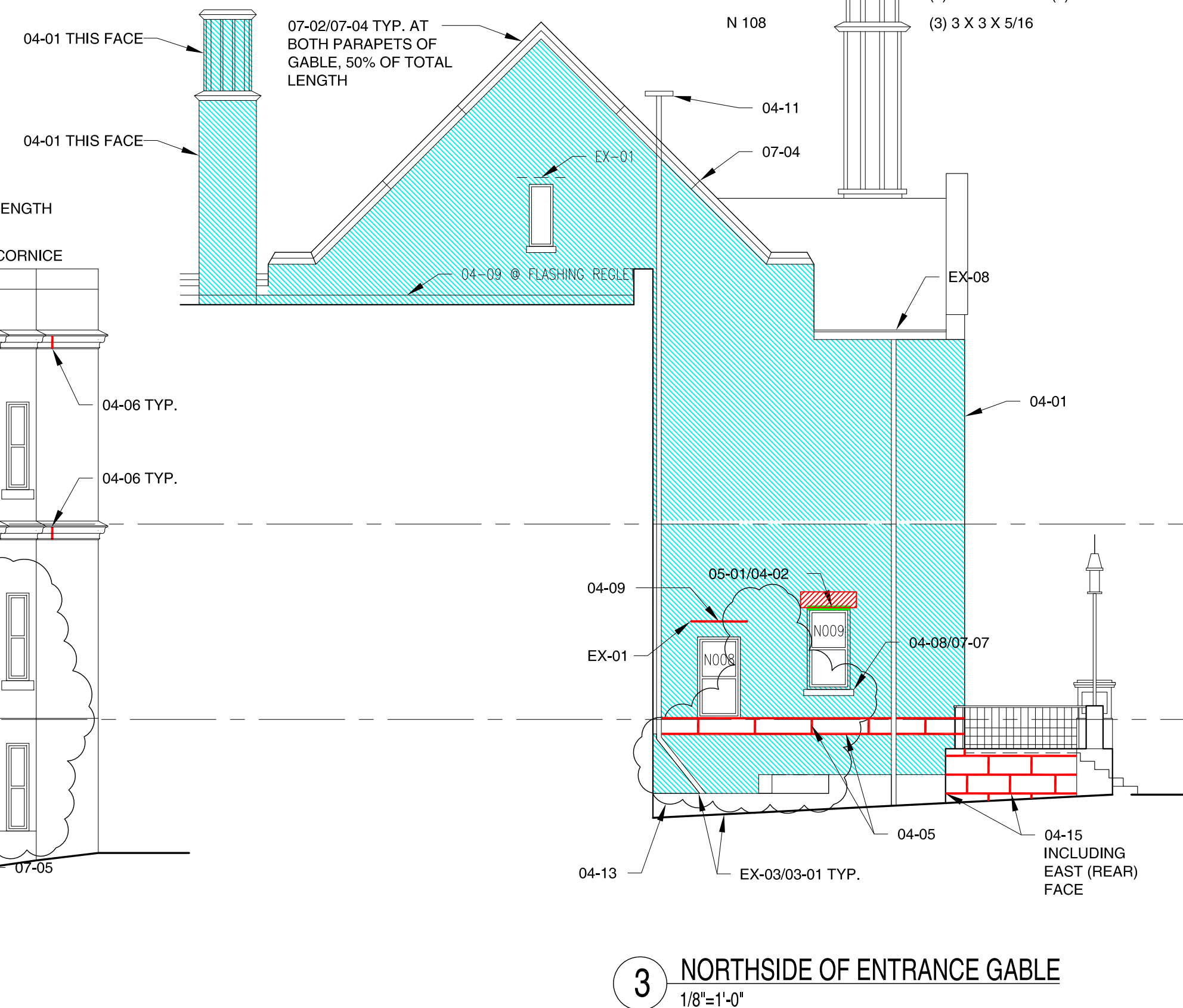
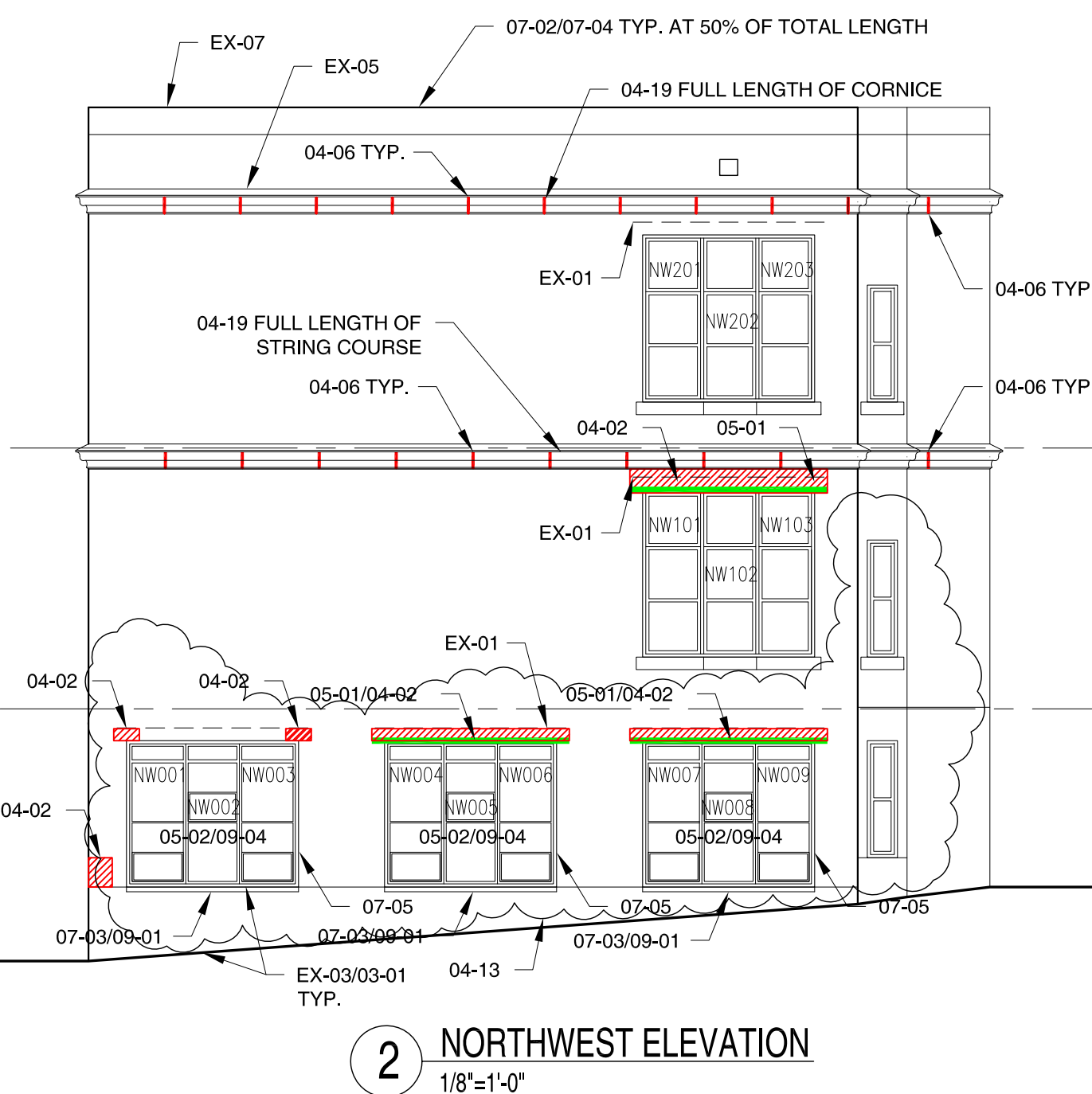
07-08 PROVIDE NEW L.C. COPPER  
THRU-WALL FLASHING BELOW REINSTALLED  
COPING STONES

16-02 REMOVE RUSTED, SURFACE-MOUNTED ELECTRICAL CONDUIT & ATTACHMENT DEVICES (FOR EXTERIOR LIGHTING) FROM MASONRY; REPLACE WITH NEW ELECTRICAL CONDUIT; PAINT CONDUIT BEFORE ATTACHING TO WALL



FOR REFERENCE ONLY

<u>WINDOW NO.</u>	<u>ORIGINAL LINTEL SIZES (1927)</u>
E 120-124	(1) 6 X 3-1/2 X 5/8 (1) 3 X 3 X 5/16 (1) 12" CHANNEL @ 20.7#
NE 001-003	(4) 4 X 3-1/2 X 1/2
NE 004-006	(4) 4 X 3-1/2 X 1/2
NE 007-009	(4) 4 X 3-1/2 X 1/2
NE 010-012	(4) 4 X 3-1/2 X 1/2
NE 104-106	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL
N 001	(4) 3 X 3 X 5/16
N 107	(3) 3 X 3 X 5/16
NW 004-006	(4) 4 X 3-1/2 X 1/2
NW 007-009	(4) 4 X 3-1/2 X 1/2
NW 101-103	(3) 5 X 3-1/2 X 3/8
N 009	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL @ 8.3#
N 108	(3) 3 X 3 X 5/16



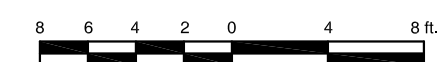
Date: 6/27/2012  
Scale: 1/8" = 1'-0"  
Drawn By: JCH  
Reviewed By: WCK  
Project No: 1593.01

**MK & A** **McGinley Kalsow & Associates, Inc.**  
ARCHITECTS & PRESERVATION PLANNERS

324 Broadway, P.O. Box 45248  
Somerville, MA 02145  
617.625.8901 - [www.mcginleykalsow.com](http://www.mcginleykalsow.com)

# NORTH & NORTHWEST ELEVATIONS

# A2





KEYNOTE LEGEND FOR SCOPE OF WORK

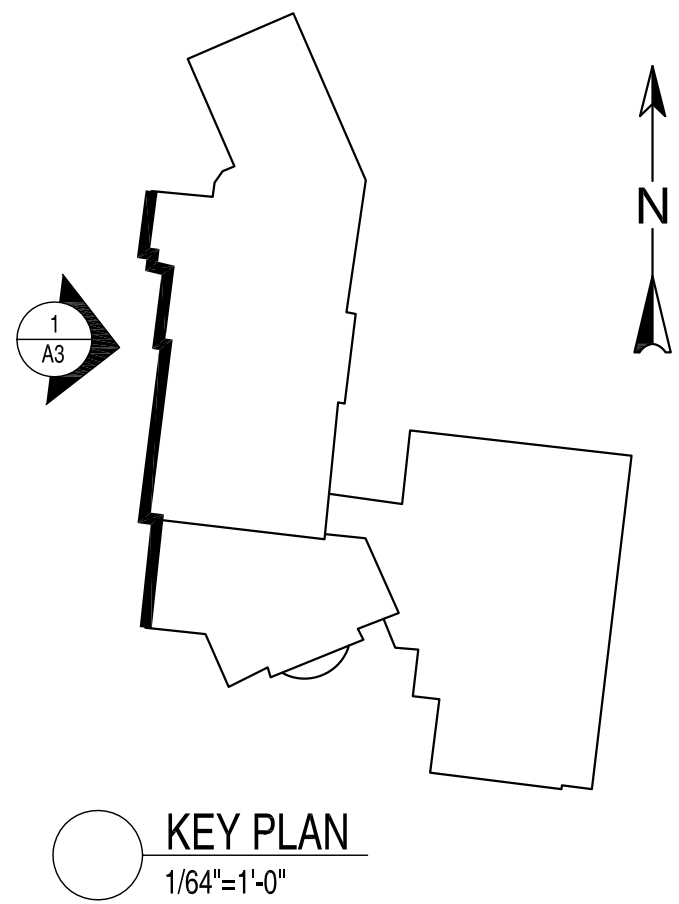
EX-01 EXISTING WINDOW HEAD FLASHING  
EX-02 EXISTING LOUVERED VENT  
EX-03 TOP OF EXISTING CONCRETE FOUNDATION  
EX-04 FORMER WINDOW OPENING INFILLED WITH BRICK MASONRY  
EX-05 EXISTING L.C. COPPER CORNICE FLASHING (TYP.)  
EX-06 EXISTING L.C. COPPER PARAPET FLASHING  
EX-07 EXISTING MEMBRANE-COVERED, METAL PARAPET FLASHING  
EX-08 EXISTING L.C. COPPER GUTTER & DOWNSPOUT  
  
02-02 REMOVE ALL SEALANTS & MORTAR FROM VERTICAL & HORIZONTAL JOINTS

03-01 PROVIDE BREATHABLE MASONRY COATING OVER EXPOSED SURFACES OF CONCRETE FOUNDATION  
  
03-03 REMOVE WOOD DEBRIS FROM SLOT AND INFILL WITH PATCHING MORTAR TO MATCH ADJOINING CONCRETE  
  
03-04 CHIP OUT LOOSE CONCRETE & PATCH WITH NEW CONCRETE OVER H. D. GALV. LATH; MATCH EXISTING EXPOSED CONCRETE FINISH (SEE DETAIL #1)  
  
03-05 REPOINT CRACK IN CONCRETE FOUNDATION WITH PATCHING MORTAR (SEE DETAIL #2)  
  
03-06 REMOVE EMBEDDED STEEL BACK 2" FROM EXPOSED STEEL SURFACE

04-01 CUT & REPOINT BRICK MASONRY  
04-02 REMOVE & REPLACE EXISTING BRICK MASONRY  
04-03 REMOVE RUSTED EMBEDDED STEEL LINTEL; INFILL WITH NEW BRICK MASONRY  
04-04 REMOVE EMBEDDED STEEL BACK 4"  
04-05 REPOINT CAST STONE CORNICE (ALL VERTICAL & HORIZONTAL JOINTS OVER ENTIRE LENGTH)  
04-06 REPOINT VERTICAL JOINTS OF CAST STONE STRING COURSE OR CORNICE  
04-07 REMOVE VENT & INFILL WITH NEW BRICK MASONRY TO MATCH EXISTING  
04-08 REMOVE & REPLACE CRACKED/SPALLED CAST STONE ELEMENT WITH NEW CAST STONE REPLACEMENT  
04-09 REMOVE SEALANT FROM FLASHING/BRICK MASONRY JOINT & REPOINT WITH MORTAR  
04-10 CHEMICALLY CLEAN MASONRY WALL AREA OF METALLIC STAINS  
04-11 REMOVE EXISTING PIPING & SUPPORT BRACKETS FROM INOPERATIVE GENERATOR; REPLACE DAMAGED BRICK MASONRY  
04-12 REPOINT CRACK IN STONE MASONRY WITH PATCHING MORTAR  
04-13 REMOVE PLANT GROWTH FROM BRICK MASONRY & CLEAN WITH BIO-WASH CLEANER  
04-14 DISASSEMBLE EXISTING FACING BRICK & COPING STONES OF RETAINING WALL & REBUILD  
04-15 CUT & REPOINT STONE MASONRY JOINTS  
04-16 REPOINT PERIMETER OF CAST STONE ELEMENT  
04-17 REPOINT CRACK IN BRICK MASONRY; REPLACE CRACKED BRICK WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE  
04-18 REMOVE SPALLED BRICKS AND REPLACE WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE  
04-19 CHEMICALLY CLEAN CAST STONE/BRICK MASONRY

05-01 REMOVE & REPLACE RUSTED STEEL LINTEL; PROVIDE NEW L.C. COPPER FLASHING AT LINTEL  
  
05-02 REMOVE STEEL SECURITY GRILLE FROM WINDOW FOR REINSTALLATION AFTER PAINTING & REMOVE DEBRIS  
  
05-03 REMOVE EXISTING CAST IRON VENTILATION GRILLES; REMOVE DEBRIS; PROVIDE BRONZE BIRD SCREENS BEHIND (PAINTED BLACK) & REINSTALL  
  
06-01 REPAIR WOOD FRAME AT MASONRY OPENING  
06-02 REPLICATE MISSING WOOD CAPITAL & RELATED MOLDINGS  
06-03 REPLICATE MISSING WOOD MOLDING OF DOOR FRAME  
  
07-01 RE-SECURE METAL CORNICE FLASHING TO SUBSTRATE WITH METAL CLIPS  
07-02 RE-SECURE METAL PARAPET FLASHING TO SUBSTRATE  
07-03 PREPARE & PAINT EXISTING METAL SILLS; REMOVE EXISTING SEALANT AT BOTH ENDS & PROVIDE NEW SEALANT  
07-04 REMOVE EXISTING RUSTED FASTENERS & REPLACE WITH COPPER OR BRONZE FASTENERS AT COPPER PARAPET FLASHING  
07-05 REMOVE EXISTING & PROVIDE NEW SEALANT BETWEEN WINDOW OR DOOR FRAME AND MASONRY OPENING  
07-06 PROVIDE NEW SEALANT IN GAP BETWEEN WINDOW TRIM AND MASONRY WALL BEHIND  
07-07 PROVIDE NEW L.C. COPPER FLASHING BELOW & BEHIND NEW CAST STONE UNIT; AT WINDOW SILL, TURN FLASHING UP AT SIDES & SOLDER SEAMS  
07-08 PROVIDE NEW L.C. COPPER THRU-WALL FLASHING BELOW REINSTALLED COPING STONES

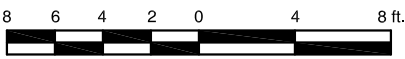
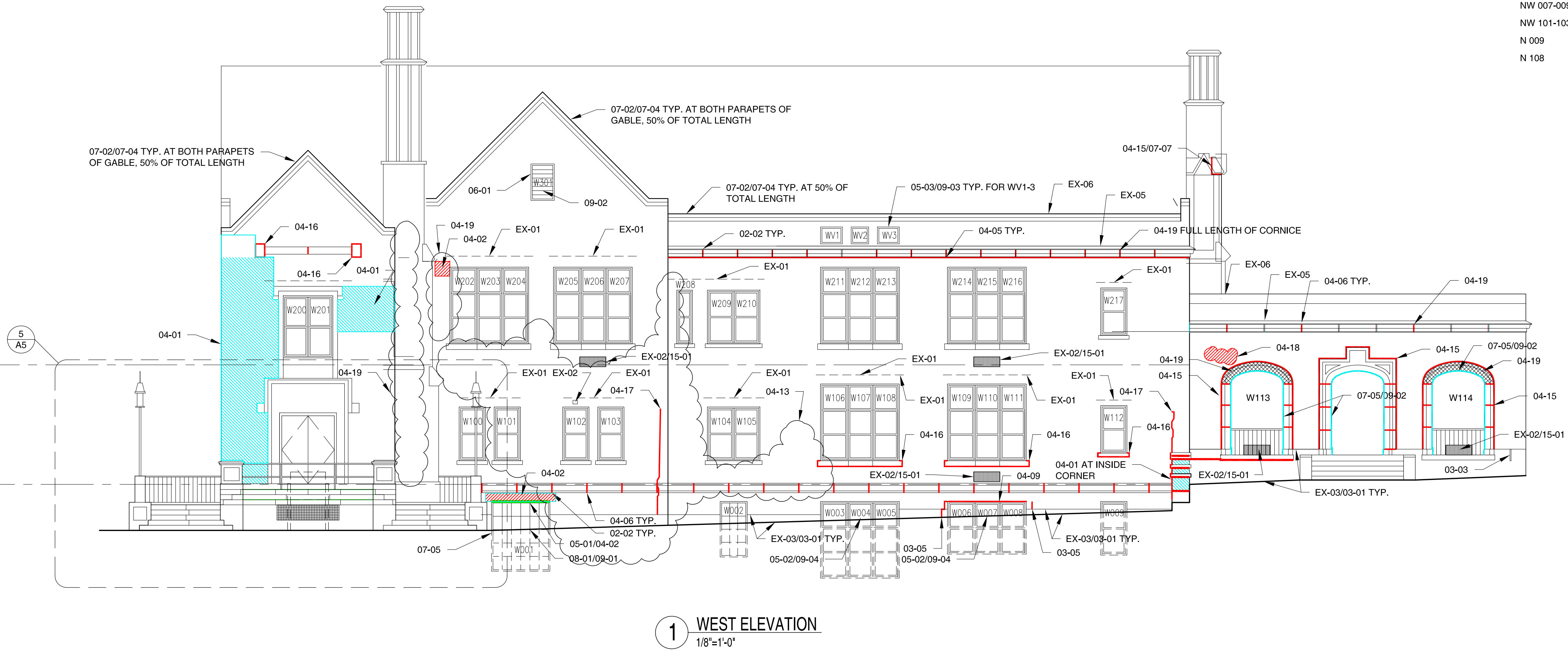
08-01 REMOVE GLAZING FROM EXISTING STEEL WINDOW; SANDBLAST/WIREBRUSH RUSTED STEEL SASH & FRAME  
  
09-01 PRIME & PAINT  
09-02 PREPARE & PAINT WOOD FRAME (DOOR, WINDOW, VENT) IN MASONRY OPENING  
09-03 PREPARE & PAINT EXISTING VENTILATION LOUVERS  
09-04 REMOVE RUST FROM SECURITY GRILLES BY SANDBLASTING IN OFF-SITE FACILITY; PRIME & PAINT GRILLES (& ALL MOUNTING BRACKETS) AND REINSTALL  
  
15-01 REPLACE EXISTING UNIT VENTILATOR GRILLE WITH NEW HORIZONTAL LOUVER UNIT & PROTECTIVE SCREEN  
  
16-01 REMOVE SURFACE-MOUNTED ELECTRICAL LINES & ATTACHMENT DEVICES FROM MASONRY; PATCH HOLES IN BRICK WITH PATCHING MORTAR  
  
16-02 REMOVE RUSTED, SURFACE-MOUNTED ELECTRICAL CONDUIT & ATTACHMENT DEVICES (FOR EXTERIOR LIGHTING) FROM MASONRY; REPLACE WITH NEW ELECTRICAL CONDUIT; PAINT CONDUIT BEFORE ATTACHING TO WALL



LEGEND	
	EXISTING CRACK IN MASONRY OR CONCRETE TO BE REPAIRED
	REPLACE CRACKED BRICKS AND REBUILD ADJOINING WALL AREA
	REMOVE & REPLACE STEEL LINTEL WITH NEW HOT-DIP GALVANIZED STEEL LINTEL
	CUT & REPOINT BRICK MASONRY MORTAR JOINTS
	REPLACE DAMAGED CONCRETE WITH NEW CONCRETE TO MATCH EXISTING
	CLEAN MASONRY TO REMOVE METAL STAINS & BIOLOGICAL MATERIAL.
	REMOVE & RESET EXISTING STONE SLABS; CLEAN EXPOSED SURFACES

LINTEL SCHEDULE  
FOR REFERENCE ONLY

WINDOW NO.	ORIGINAL LINTEL SIZES (1927)
E 120-124	(1) 6 X 3-1/2 X 5/8 (1) 3 X 3 X 5/16 (1) 12" CHANNEL @ 20.7#
NE 001-003	(4) 4 X 3-1/2 X 1/2
NE 004-006	(4) 4 X 3-1/2 X 1/2
NE 007-009	(4) 4 X 3-1/2 X 1/2
NE 010-012	(4) 4 X 3-1/2 X 1/2
NE 104-106	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL
N 001	(4) 3 X 3 X 5/16
N 107	(3) 3 X 3 X 5/16
NW 004-006	(4) 4 X 3-1/2 X 1/2
NW 007-009	(4) 4 X 3-1/2 X 1/2
NW 101-103	(3) 5 X 3-1/2 X 3/8
N 009	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL @ 8.3#
N 108	(3) 3 X 3 X 5/16



John Ward Elementary School  
Masonry Repairs  
10 Dolphin Road  
Newton, MA 02459  
City of Newton, Massachusetts

Date: 6/27/2012  
Scale: 1/8" = 1'-0"  
Drawn By: JCH  
Reviewed By: WCK  
Project No: 1593.01

**MK & A** McGinley Kalsow & Associates, Inc.  
ARCHITECTS & PRESERVATION PLANNERS  
324 Broadway, P.O. Box 45248  
Somerville, MA 02145  
617.625.8901 - www.mcginleykalsow.com

WEST  
ELEVATION

A3



KEYNOTE LEGEND FOR SCOPE OF WORK

- EX-01 EXISTING WINDOW HEAD FLASHING

EX-02 EXISTING LOUVERED VENT

EX-03 TOP OF EXISTING CONCRETE FOUNDATION

EX-04 FORMER WINDOW OPENING INFILLED WITH BRICK MASONRY

EX-05 EXISTING L.C. COPPER CORNICE FLASHING (TYP.)

EX-06 EXISTING L.C. COPPER PARAPET FLASHING

EX-07 EXISTING MEMBRANE-COVERED, METAL PARAPET FLASHING

EX-08 EXISTING L.C. COPPER GUTTER & DOWNSPOUT

02-02 REMOVE ALL SEALANTS & MORTAR FROM VERTICAL & HORIZONTAL JOINTS

03-01 PROVIDE BREATHABLE MASONRY COATING OVER EXPOSED SURFACES OF CONCRETE FOUNDATION

03-03 REMOVE WOOD DEBRIS FROM SLOT AND INFILL WITH PATCHING MORTAR TO MATCH ADJOINING CONCRETE

03-04 CHIP OUT LOOSE CONCRETE & PATCH WITH NEW CONCRETE OVER H. D. GALV. LATH; MATCH EXISTING EXPOSED CONCRETE FINISH (SEE DETAIL #1)

03-05 REPOINT CRACK IN CONCRETE FOUNDATION WITH PATCHING MORTAR (SEE DETAIL #2)

03-06 REMOVE EMBEDDED STEEL BACK 2" FROM EXPOSED STEEL SURFACE
- 04-01 CUT & REPOINT BRICK MASONRY

04-02 REMOVE & REPLACE EXISTING BRICK MASONRY

04-03 REMOVE RUSTED EMBEDDED STEEL LINTEL; INFILL WITH NEW BRICK MASONRY

04-04 REMOVE EMBEDDED STEEL BACK 4"

04-05 REPOINT CAST STONE CORNICE (ALL VERTICAL & HORIZONTAL JOINTS OVER ENTIRE LENGTH)

04-06 REPOINT VERTICAL JOINTS OF CAST STONE STRING COURSE OR CORNICE

04-07 REMOVE VENT & INFILL WITH NEW BRICK MASONRY TO MATCH EXISTING

04-08 REMOVE & REPLACE CRACKED/SPALLED CAST STONE ELEMENT WITH NEW CAST STONE REPLACEMENT

04-09 REMOVE SEALANT FROM FLASHING/BRICK MASONRY JOINT & REPOINT WITH MORTAR

04-10 CHEMICALLY CLEAN MASONRY WALL AREA OF METALLIC STAINS

04-11 REMOVE EXISTING PIPING & SUPPORT BRACKETS FROM INOPERATIVE GENERATOR; REPLACE DAMAGED BRICK MASONRY

04-12 REPOINT CRACK IN STONE MASONRY WITH PATCHING MORTAR

04-13 REMOVE PLANT GROWTH FROM BRICK MASONRY & CLEAN WITH BIO-WASH CLEANER

04-14 DISASSEMBLE EXISTING FACING BRICK & COPING STONES OF RETAINING WALL & REBUILD

04-15 CUT & REPOINT STONE MASONRY JOINTS

04-16 REPOINT PERIMETER OF CAST STONE ELEMENT

04-17 REPOINT CRACK IN BRICK MASONRY; REPLACE CRACKED BRICK WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE

04-18 REMOVE SPALLED BRICKS AND REPLACE WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE

04-19 CHEMICALLY CLEAN CAST STONE/BRICK MASONRY

- 05-01 REMOVE & REPLACE RUSTED STEEL LINTEL; PROVIDE NEW L.C. COPPER FLASHING AT LINTEL

05-02 REMOVE STEEL SECURITY GRILLE FROM WINDOW FOR REINSTALLATION AFTER PAINTING & REMOVE DEBRIS

05-03 REMOVE EXISTING CAST IRON VENTILATION GRILLES, REMOVE DEBRIS, PROVIDE BRONZE BIRD SCREENS BEHIND (PAINTED BLACK) & REINSTALL

06-01 REPAIR WOOD FRAME AT MASONRY OPENING

06-02 REPLICATE MISSING WOOD CAPITAL & RELATED MOLDINGS

06-03 REPLICATE MISSING WOOD MOLDING OF DOOR FRAME

07-01 RE-SECURE METAL CORNICE FLASHING TO SUBSTRATE WITH METAL CLIPS

07-02 RE-SECURE METAL PARAPET FLASHING TO SUBSTRATE

07-03 PREPARE & PAINT EXISTING METAL SILLS; REMOVE EXISTING SEALANT AT BOTH ENDS & PROVIDE NEW SEALANT

07-04 REMOVE EXISTING RUSTED FASTENERS & REPLACE WITH COPPER OR BRONZE FASTENERS AT COPPER PARAPET FLASHING

07-05 REMOVE EXISTING & PROVIDE NEW SEALANT BETWEEN WINDOW OR DOOR FRAME AND MASONRY OPENING

07-06 PROVIDE NEW SEALANT IN GAP BETWEEN WINDOW TRIM AND MASONRY WALL BEHIND

07-07 PROVIDE NEW L.C. COPPER FLASHING BELOW & BEHIND NEW CAST STONE UNIT; AT WINDOW SILL, TURN FLASHING UP AT SIDES & SOLDER SEAMS

07-08 PROVIDE NEW L.C. COPPER THRU-WALL FLASHING BELOW REINSTALLED COPING STONES
- 08-01 REMOVE GLAZING FROM EXISTING STEEL WINDOW; SANDBLAST/WIREBRUSH RUSTED STEEL SASH & FRAME

09-01 PRIME & PAINT

09-02 PREPARE & PAINT WOOD FRAME (DOOR, WINDOW, VENT) IN MASONRY OPENING

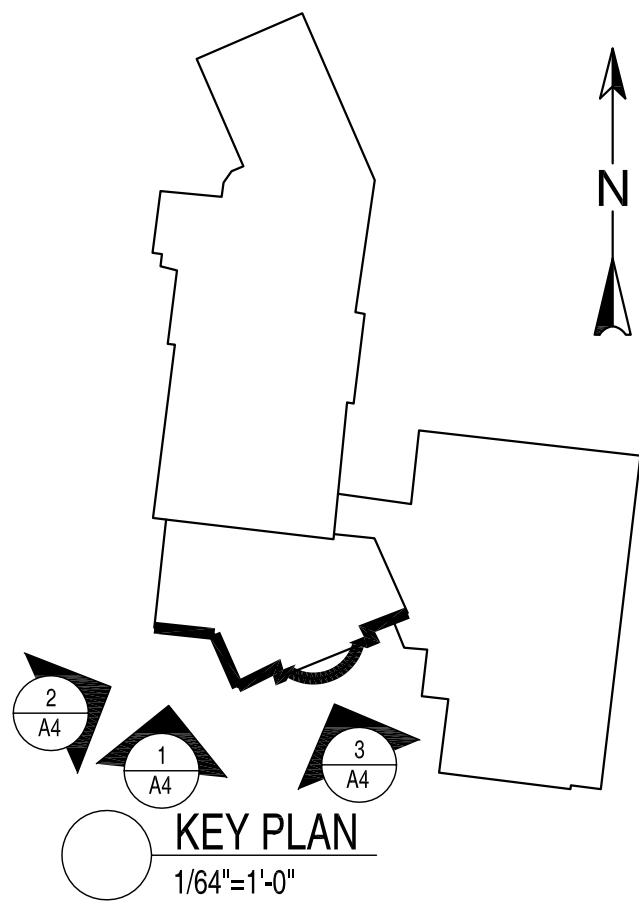
09-03 PREPARE & PAINT EXISTING VENTILATION LOUVERS

09-04 REMOVE RUST FROM SECURITY GRILLES BY SANDBLASTING IN OFF-SITE FACILITY; PRIME & PAINT GRILLES (& ALL MOUNTING BRACKETS) AND REINSTALL

15-01 REPLACE EXISTING UNIT VENTILATOR GRILLE WITH NEW HORIZONTAL LOUVER UNIT & PROTECTIVE SCREEN

16-01 REMOVE SURFACE-MOUNTED ELECTRICAL LINES & ATTACHMENT DEVICES FROM MASONRY; PATCH HOLES IN BRICK WITH PATCHING MORTAR

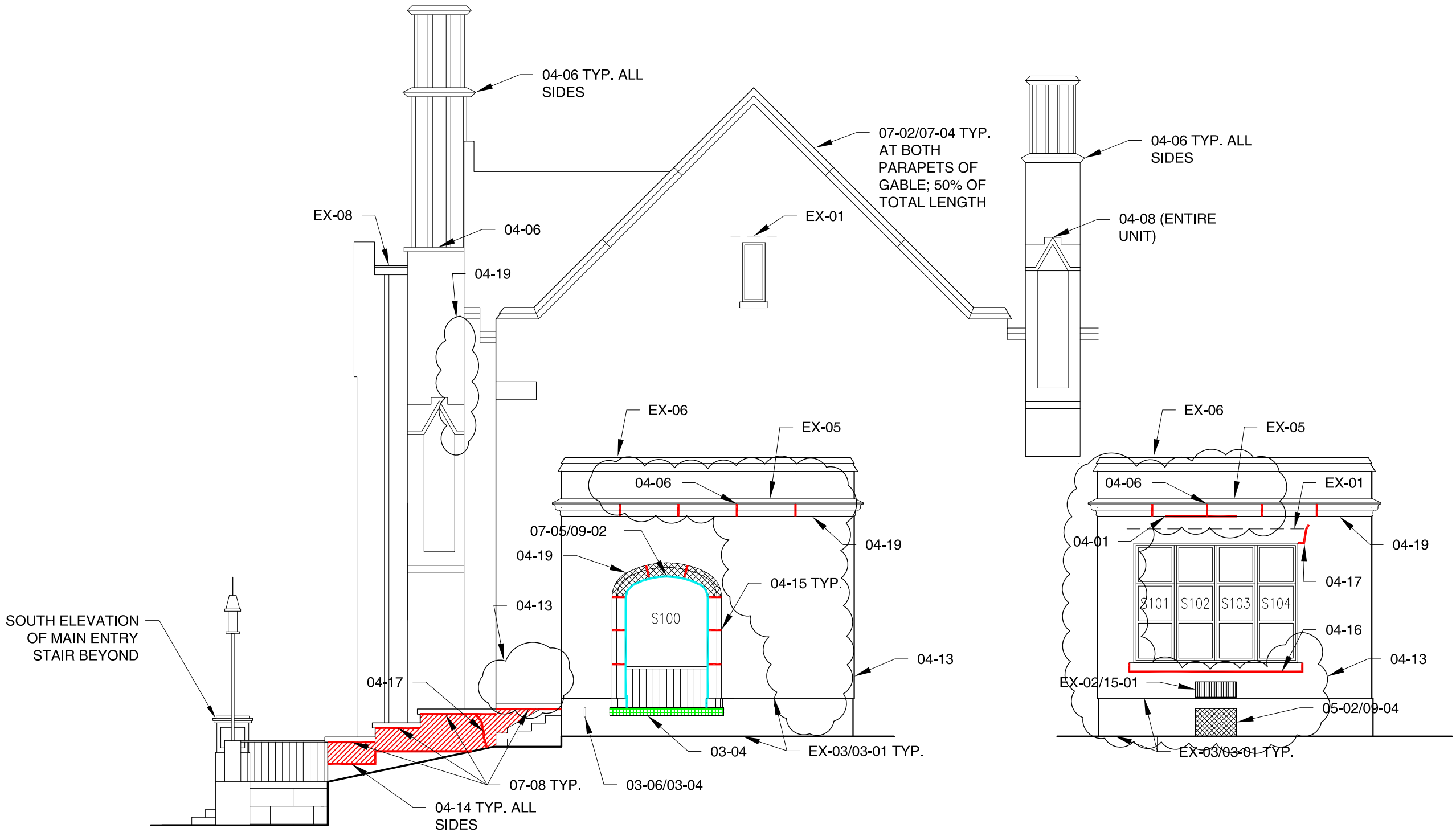
16-02 REMOVE RUSTED, SURFACE-MOUNTED ELECTRICAL CONDUIT & ATTACHMENT DEVICES (FOR EXTERIOR LIGHTING) FROM MASONRY; REPLACE WITH NEW ELECTRICAL CONDUIT; PAINT CONDUIT BEFORE ATTACHING TO WALL



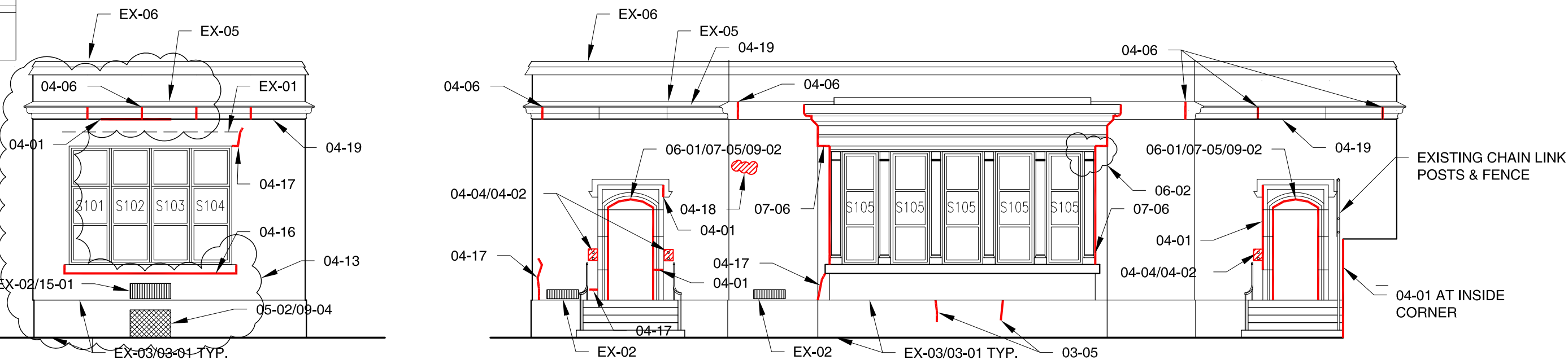
- LEGEND
- EXISTING CRACK IN MASONRY OR CONCRETE TO BE REPAIRED
  - REPLACE CRACKED BRICKS AND REBUILD ADJOINING WALL AREA
  - REMOVE & REPLACE STEEL LINTEL WITH NEW HOT-DIP GALVANIZED STEEL LINTEL
  - CUT & REPOINT BRICK MASONRY MORTAR JOINTS
  - REPLACE DAMAGED CONCRETE WITH NEW CONCRETE TO MATCH EXISTING
  - CLEAN MASONRY TO REMOVE METAL STAINS & BIOLOGICAL MATERIAL.
  - REMOVE & RESET EXISTING STONE SLABS; CLEAN EXPOSED SURFACES

LINTEL SCHEDULE  
FOR REFERENCE ONLY

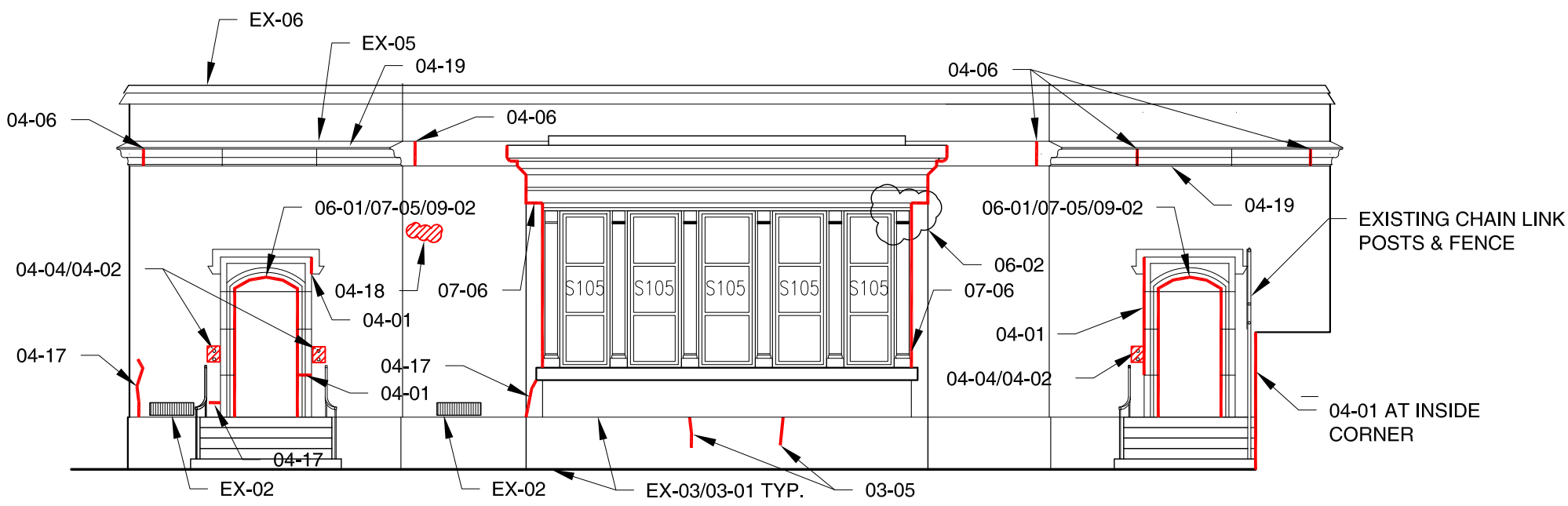
WINDOW NO.	ORIGINAL LINTEL SIZES (1927)
E 120-124	(1) 6 X 3-1/2 X 5/8 (1) 3 X 3 X 5/16 (1) 12" CHANNEL @ 20.7#
NE 001-003	(4) 4 X 3-1/2 X 1/2
NE 004-006	(4) 4 X 3-1/2 X 1/2
NE 007-009	(4) 4 X 3-1/2 X 1/2
NE 010-012	(4) 4 X 3-1/2 X 1/2
NE 104-106	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL
N 001	(4) 3 X 3 X 5/16
N 107	(3) 3 X 3 X 5/16
NW 004-006	(4) 4 X 3-1/2 X 1/2
NW 007-009	(4) 4 X 3-1/2 X 1/2
NW 101-103	(3) 5 X 3-1/2 X 3/8
N 009	(2) 3 X 3 X 5/16 + (1) 6" CHANNEL @ 8.3#
N 108	(3) 3 X 3 X 5/16



1 PARTIAL SOUTH ELEVATION  
1/8"=1'-0"



2 SOUTH ELEV @ WINDOW  
1/8"=1'-0"



3 SOUTH ELEVATION @ BAY WINDOW  
1/8"=1'-0"



John Ward Elementary School  
Masonry Repairs  
10 Dolphin Road  
Newton, MA 02459  
City of Newton, Massachusetts

Date: 6/27/2012  
Scale: 1/8" = 1'-0"  
Drawn By: JCH  
Reviewed By: WCK  
Project No: 1593.01

MK & A McGinley Kalsow & Associates, Inc.  
ARCHITECTS & PRESERVATION PLANNERS  
324 Broadway, P.O. Box 45248  
Somerville, MA 02145  
617.625.8901 - www.mcginleykalsow.com

SOUTH  
ELEVATIONS

A4

Alternate #2: All work shown on this sheet





KEYNOTE LEGEND FOR SCOPE OF WORK

- EX-01 EXISTING WINDOW HEAD FLASHING

EX-02 EXISTING LOUVERED VENT

EX-03 TOP OF EXISTING CONCRETE FOUNDATION

EX-04 FORMER WINDOW OPENING INFILLED WITH BRICK MASONRY

EX-05 EXISTING L.C. COPPER CORNICE FLASHING (TYP.)

EX-06 EXISTING L.C. COPPER PARAPET FLASHING

EX-07 EXISTING MEMBRANE-COVERED, METAL PARAPET FLASHING

EX-08 EXISTING L.C. COPPER GUTTER & DOWNSPOUT

02-02 REMOVE ALL SEALANTS & MORTAR FROM VERTICAL & HORIZONTAL JOINTS

03-01 PROVIDE BREATHABLE MASONRY COATING OVER EXPOSED SURFACES OF CONCRETE FOUNDATION

03-03 REMOVE WOOD DEBRIS FROM SLOT AND INFILL WITH PATCHING MORTAR TO MATCH ADJOINING CONCRETE

03-04 CHIP OUT LOOSE CONCRETE & PATCH WITH NEW CONCRETE OVER H. D. GALV. LATH; MATCH EXISTING EXPOSED CONCRETE FINISH (SEE DETAIL #1)

03-05 REPOINT CRACK IN CONCRETE FOUNDATION WITH PATCHING MORTAR (SEE DETAIL #2)

03-06 REMOVE EMBEDDED STEEL BACK 2" FROM EXPOSED STEEL SURFACE
- 04-01 CUT & REPOINT BRICK MASONRY

04-02 REMOVE & REPLACE EXISTING BRICK MASONRY

04-03 REMOVE RUSTED EMBEDDED STEEL LINTEL; INFILL WITH NEW BRICK MASONRY

04-04 REMOVE EMBEDDED STEEL BACK 4"

04-05 REPOINT CAST STONE CORNICE (ALL VERTICAL & HORIZONTAL JOINTS OVER ENTIRE LENGTH)

04-06 REPOINT VERTICAL JOINTS OF CAST STONE STRING COURSE OR CORNICE

04-07 REMOVE VENT & INFILL WITH NEW BRICK MASONRY TO MATCH EXISTING

04-08 REMOVE & REPLACE CRACKED/SPALLED CAST STONE ELEMENT WITH NEW CAST STONE REPLACEMENT

04-09 REMOVE SEALANT FROM FLASHING/BRICK MASONRY JOINT & REPOINT WITH MORTAR

04-10 CHEMICALLY CLEAN MASONRY WALL AREA OF METALLIC STAINS

04-11 REMOVE EXISTING PIPING & SUPPORT BRACKETS FROM INOPERATIVE GENERATOR; REPLACE DAMAGED BRICK MASONRY

04-12 REPOINT CRACK IN STONE MASONRY WITH PATCHING MORTAR

04-13 REMOVE PLANT GROWTH FROM BRICK MASONRY & CLEAN WITH BIO-WASH CLEANER

04-14 DISASSEMBLE EXISTING FACING BRICK & COPING STONES OF RETAINING WALL & REBUILD

04-15 CUT & REPOINT STONE MASONRY JOINTS

04-16 REPOINT PERIMETER OF CAST STONE ELEMENT

04-17 REPOINT CRACK IN BRICK MASONRY; REPLACE CRACKED BRICK WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE

04-18 REMOVE SPALLED BRICKS AND REPLACE WITH NEW UNITS TO MATCH ADJOINING BRICK SURFACE

04-19 CHEMICALLY CLEAN CAST STONE/BRICK MASONRY
- 05-01 REMOVE & REPLACE RUSTED STEEL LINTEL; PROVIDE NEW L.C. COPPER FLASHING AT LINTEL

05-02 REMOVE STEEL SECURITY GRILLE FROM WINDOW FOR REINSTALLATION AFTER PAINTING & REMOVE DEBRIS

05-03 REMOVE EXISTING CAST IRON VENTILATION GRILLES, REMOVE DEBRIS, PROVIDE BRONZE BIRD SCREENS BEHIND (PAINTED BLACK) & REINSTALL

06-01 REPAIR WOOD FRAME AT MASONRY OPENING

06-02 REPLICATE MISSING WOOD CAPITAL & RELATED MOLDINGS

06-03 REPLICATE MISSING WOOD MOLDING OF DOOR FRAME

07-01 RE-SECURE METAL CORNICE FLASHING TO SUBSTRATE WITH METAL CLIPS

07-02 RE-SECURE METAL PARAPET FLASHING TO SUBSTRATE

07-03 PREPARE & PAINT EXISTING METAL SILLS; REMOVE EXISTING SEALANT AT BOTH ENDS & PROVIDE NEW SEALANT

07-04 REMOVE EXISTING RUSTED FASTENERS & REPLACE WITH COPPER OR BRONZE FASTENERS AT COPPER PARAPET FLASHING

07-05 REMOVE EXISTING & PROVIDE NEW SEALANT BETWEEN WINDOW OR DOOR FRAME AND MASONRY OPENING

07-06 PROVIDE NEW SEALANT IN GAP BETWEEN WINDOW TRIM AND MASONRY WALL BEHIND

07-07 PROVIDE NEW L.C. COPPER FLASHING BELOW & BEHIND NEW CAST STONE UNIT; AT WINDOW SILL, TURN FLASHING UP AT SIDES & SOLDER SEAMS

07-08 PROVIDE NEW L.C. COPPER THRU-WALL FLASHING BELOW REINSTALLED COPING STONES
- 08-01 REMOVE GLAZING FROM EXISTING STEEL WINDOW; SANDBLAST/WIREBRUSH RUSTED STEEL SASH & FRAME

09-01 PRIME & PAINT

09-02 PREPARE & PAINT WOOD FRAME (DOOR, WINDOW, VENT) IN MASONRY OPENING

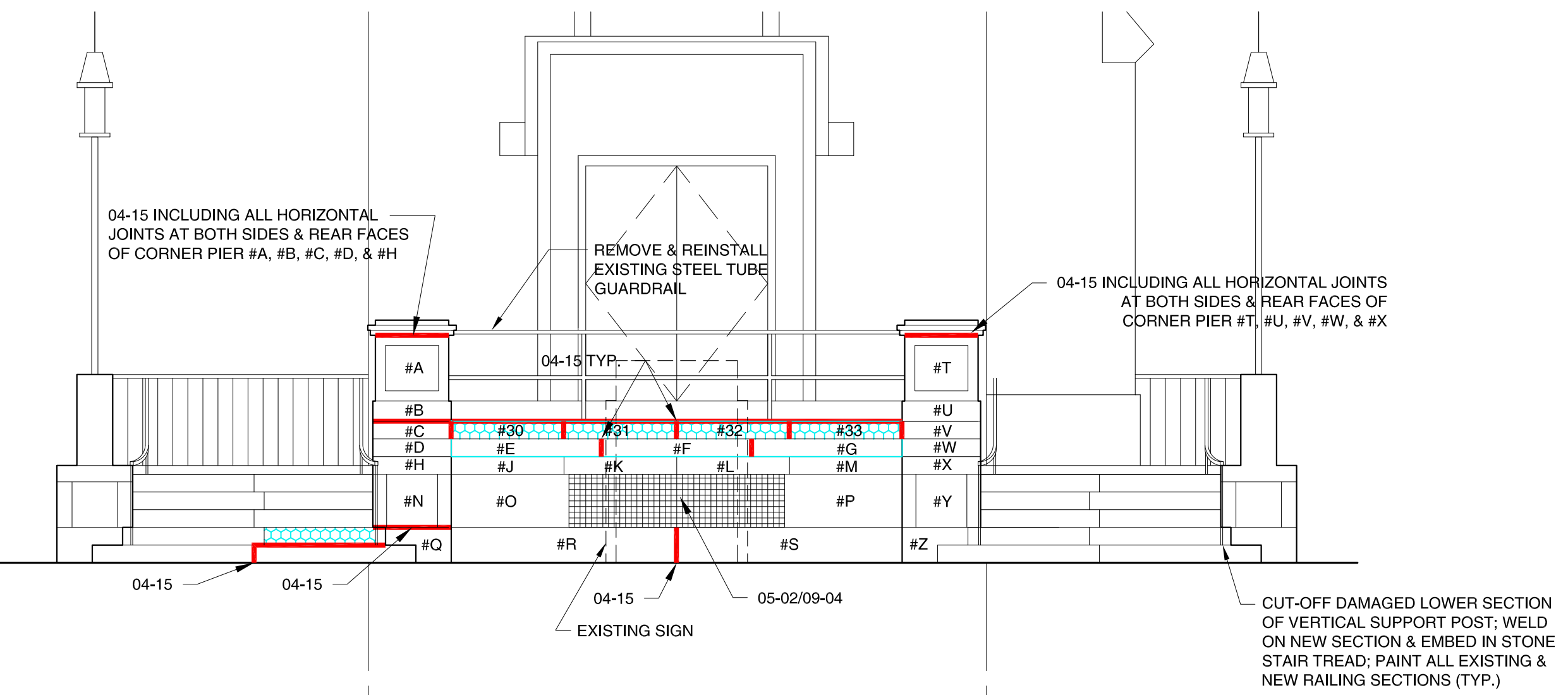
09-03 PREPARE & PAINT EXISTING VENTILATION LOUVERS

09-04 REMOVE RUST FROM SECURITY GRILLES BY SANDBLASTING IN OFF-SITE FACILITY; PRIME & PAINT GRILLES (& ALL MOUNTING BRACKETS) AND REINSTALL

15-01 REPLACE EXISTING UNIT VENTILATOR GRILLE WITH NEW HORIZONTAL LOUVER UNIT & PROTECTIVE SCREEN

16-01 REMOVE SURFACE-MOUNTED ELECTRICAL LINES & ATTACHMENT DEVICES FROM MASONRY; PATCH HOLES IN BRICK WITH PATCHING MORTAR

16-02 REMOVE RUSTED, SURFACE-MOUNTED ELECTRICAL CONDUIT & ATTACHMENT DEVICES (FOR EXTERIOR LIGHTING) FROM MASONRY; REPLACE WITH NEW ELECTRICAL CONDUIT; PAINT CONDUIT BEFORE ATTACHING TO WALL



GENERAL NOTES:

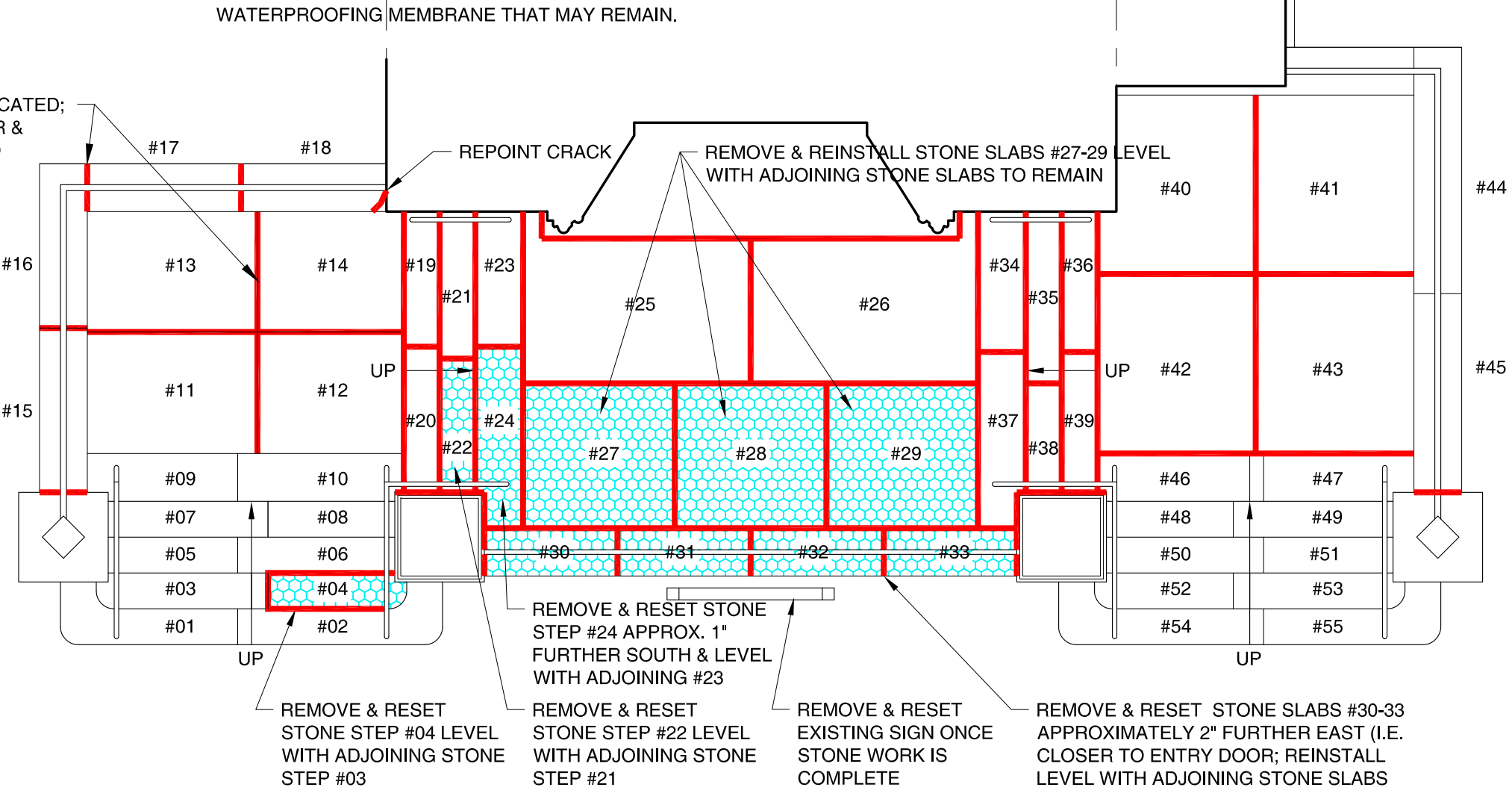
THE STONE MASONRY REPOINTING & RESETTING WORK AT THE MAIN ENTRANCE IS TO BE CONSIDERED AN INTERIM SOLUTION, NOT A PERMANENT SOLUTION.

ASSUME THAT REPOINTING OF STONE MASONRY WILL REQUIRE RAKING OUT MORTAR JOINTS FOR A MINIMUM OF 3."

THE INTERIM GOALS AT THE MAIN ENTRY ARE TO REDUCE WATER INFILTRATION AND TO PROVIDE LEVEL WALKING SURFACES.

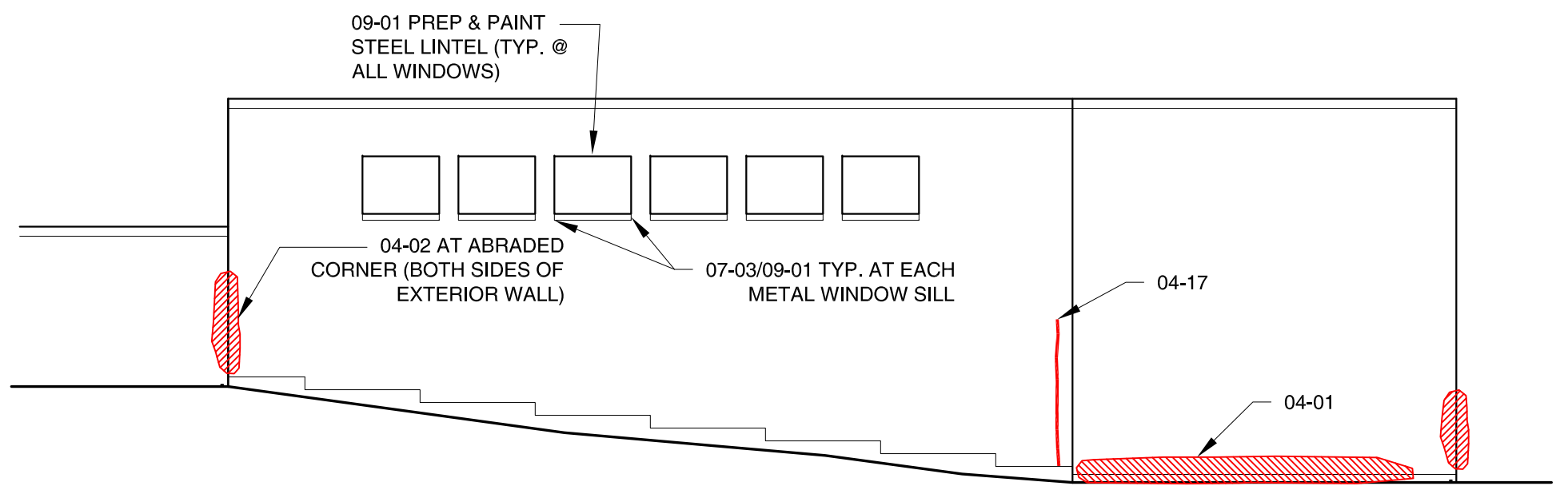
WHEN MOVING & RESETTING STONE SLABS, USE CARE TO AVOID DAMAGE TO ANY EXISTING WATERPROOFING/MEMBRANE THAT MAY REMAIN.

5 MAIN ENTRANCE STAIR ELEVATION  
1/4"=1'-0"

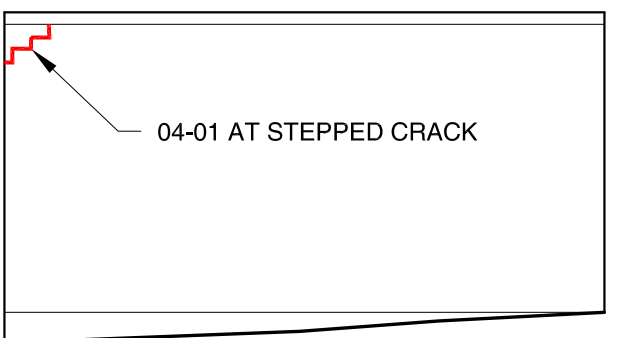


6 MAIN ENTRANCE STAIR PLAN  
1/4"=1'-0"

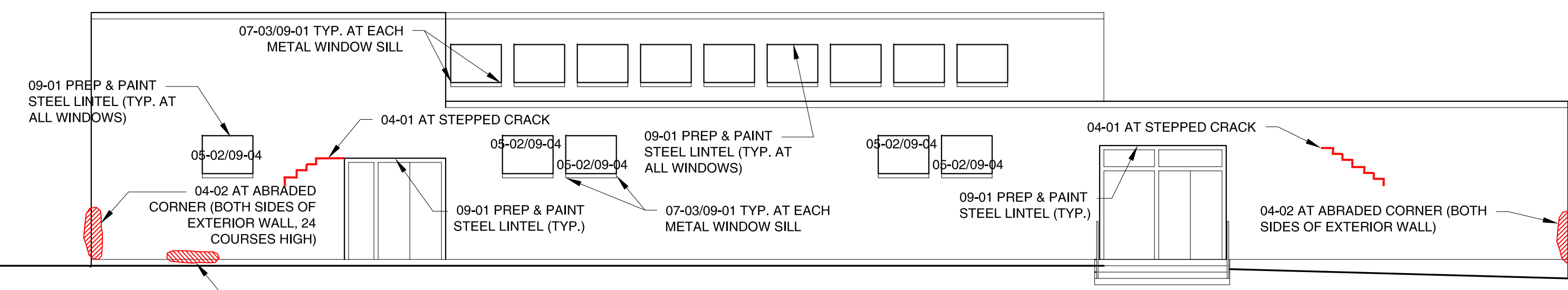
1 SOUTH ELEVATION OF 1956 ADDITION  
1/8"=1'-0"



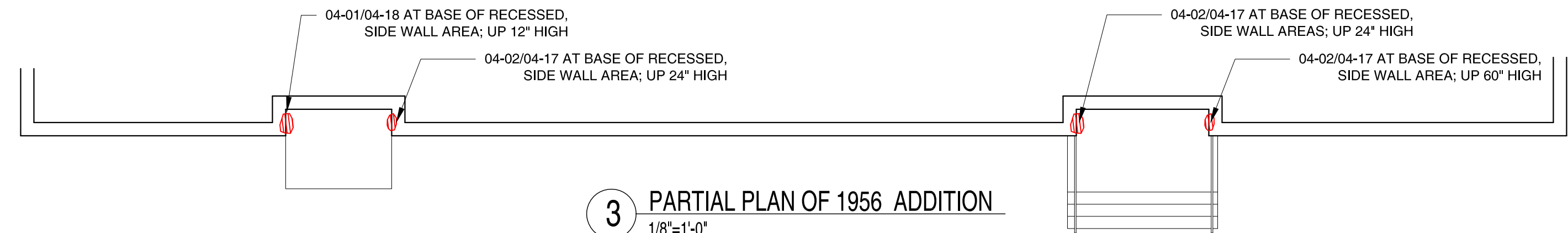
4 WEST ELEVATION OF 1956 ADDITION  
1/8"=1'-0"



2 EAST ELEVATION OF 1956 ADDITION  
1/8"=1'-0"



3 PARTIAL PLAN OF 1956 ADDITION  
1/8"=1'-0"



John Ward Elementary School  
Masonry Repairs  
10 Dolphin Road  
Newton, MA 02459  
City of Newton, Massachusetts

Date: 6/27/2012  
Scale: AS NOTED  
Drawn By: JCH  
Reviewed By: WCK  
Project No: 1593.01

MK & A McGinley Kalsow & Associates, Inc.  
ARCHITECTS & PRESERVATION PLANNERS  
324 Broadway, P.O. Box 45248  
Somerville, MA 02145  
617.625.8901 - www.mcginleykalsow.com

MAIN ENTRY  
STAIRS & 1956  
ADDITION  
ELEVATIONS

A5

Alternate #3: All work shown above for Elevations #1-#4/A5

Base Bid: All work shown above for #5 & #6/A5